

CENTURY SQUARE 380 @ FM 720

SEC FM 720 & US 380, LITTLE ELM, TX 75088



EXTERIOR FINISH SCHEDULE

LEADER STONE (RANDOM MIXTURE)	(A) BOE BROWN BACK BUTT BRICKS
CAST STONE MIMICRY	(B) BY DALLAS CAST STONE COLOR: "ROCK"
FACE BRICK	(C) BY A&E;L; EASTL TEXE BY A&E;L; EASTL TEXE SEE COLOR BOARD
3-COAT STUCCO SYSTEM w/ 3/4" OF JACOBI OR ARCH SCOTED PATIERN	(D) COLOR: "SUNSHY 441" BRICKS SEE COLOR BOARD
MASONRY HAIR-FINISH COAT	(E) COLOR: "SMITH TONE" SEE COLOR BOARD
METAL CLADDING	(F) COLOR: "SAND BRICK"
PREFINISHED METAL DOPING	(G) COLOR: "CONCRETE"
ANNODED ALUM. WINDOW/DOOR & WINDOW COUPLER w/ 1" SLIP RESISTANT GASK.	(H) WINDOW COLOR: "FINISHMENT"
EXTERIOR GEL ON METAL DOOR & FRAME	(I) ALUM. TRAY: "EMERALD BRONZE" GLASS: "CLEAR"
DOOR TO BE SET BY CONTRACTOR	(J) PREFINISHED OR CUSTOMER MATCHED TO MATCH ADJACENT

1. REFER ASIS FOR COLOR BOARD "ASIS" FOR SOME DETAILS.
2. REFER ASIS FOR S.O.P. EXTERIOR MATERIAL COMPLIANCE.



A Development of

RETAIL CENTER
FM 720 & US 380
LITTLE ELM TX 76227

PROPERTY DESCRIPTION

- 24,700 SF proposed retail shopping center is available for pre-leasing.
- The project is anticipated to be delivered in 1Q 2024.
- Join nail salon tenant.

LOCATION DESCRIPTION

- The project is located at SEC of FM 720 and US 380 of City of Little Elm, Texas, at rapid residential growth area. The center is situated adjacent to HEB owned land that has cross access been granted between the parcels.
- Area retailers include Walmart, Chick Fil A, Starbucks, Rosa's Cafe, 7-Eleven, Whataburger, Burger King, CVS, McDonald's, Autozone, Taco Bell, Wingstop, Firestone, Popyes, Starbucks, Dickey's, T-Mobile, Mattress Firm, and more.

OFFERING SUMMARY

Lease Rate:	\$33.00 - 35.00 SF/yr (NNN)
NNN:	Estimated \$8.50 SF/yr
Available SF:	1,200 - 27,700 SF
Lot Size:	4.897 Acres
Building Size:	27,700 SF

DEMOGRAPHICS	1 MILE	3 MILES	5 MILES
Total Households	1,435	8,285	23,456
Total Population	4,462	25,390	69,911
Average HH Income	\$111,104	\$110,791	\$113,492

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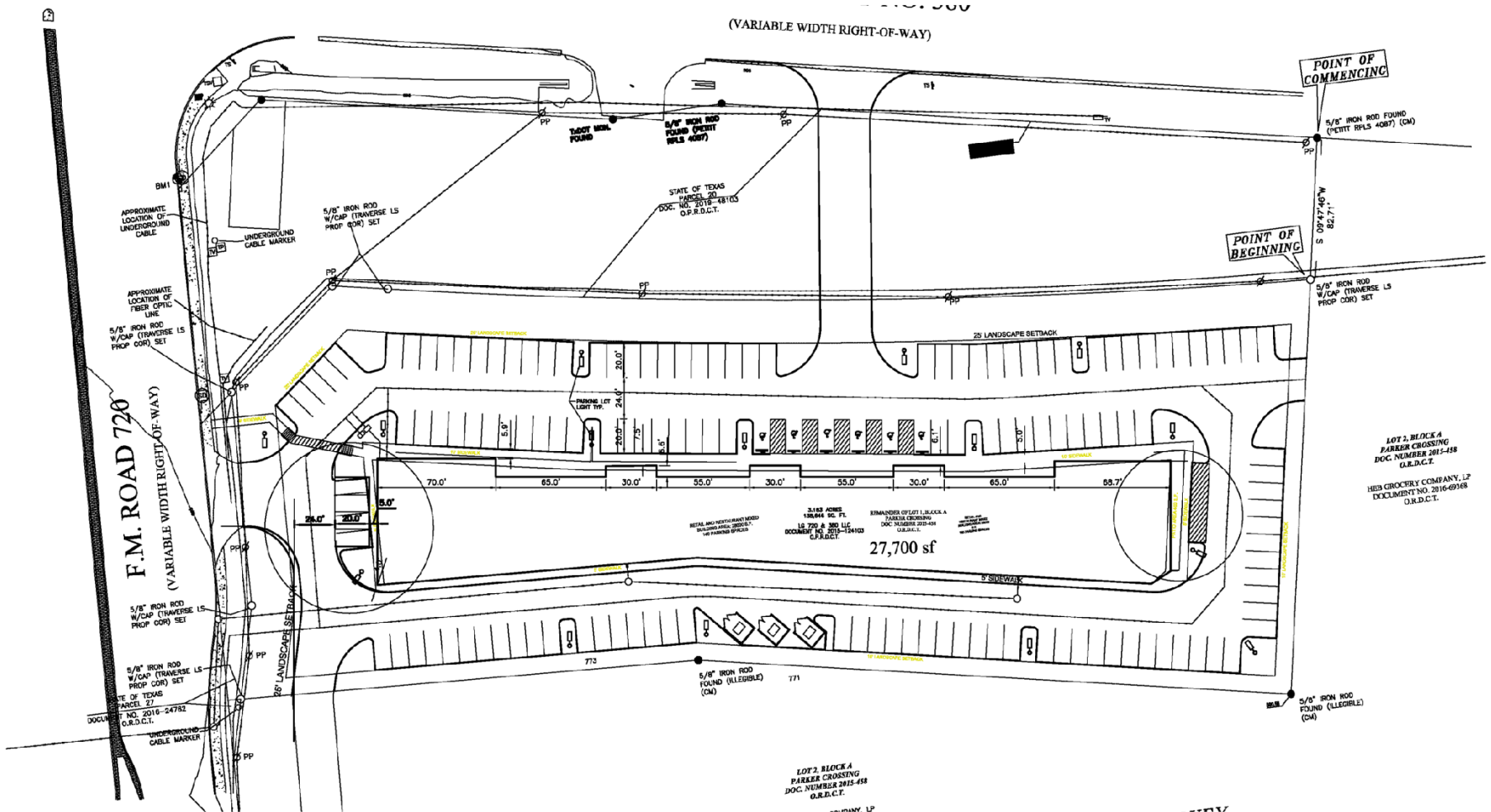
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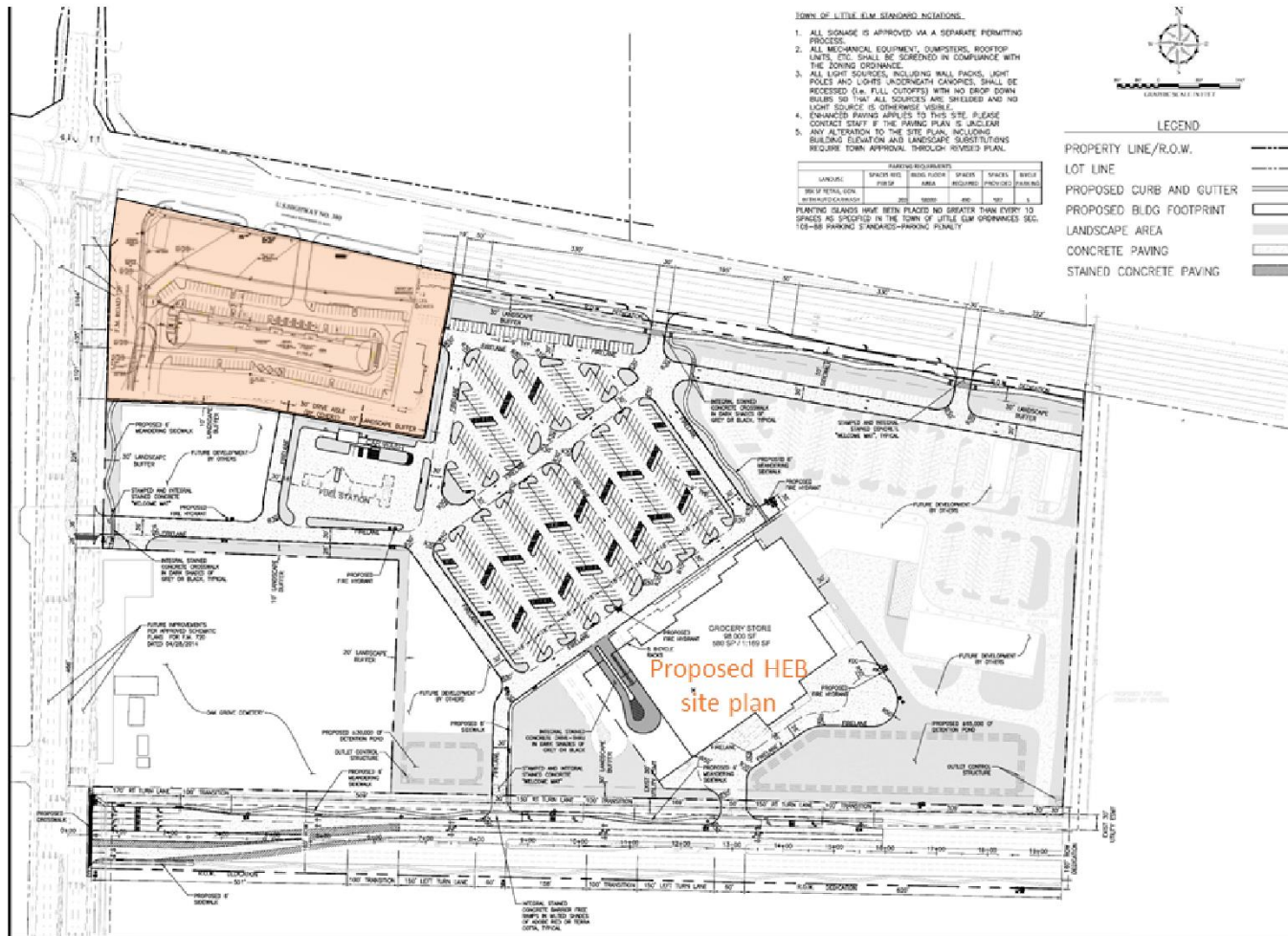
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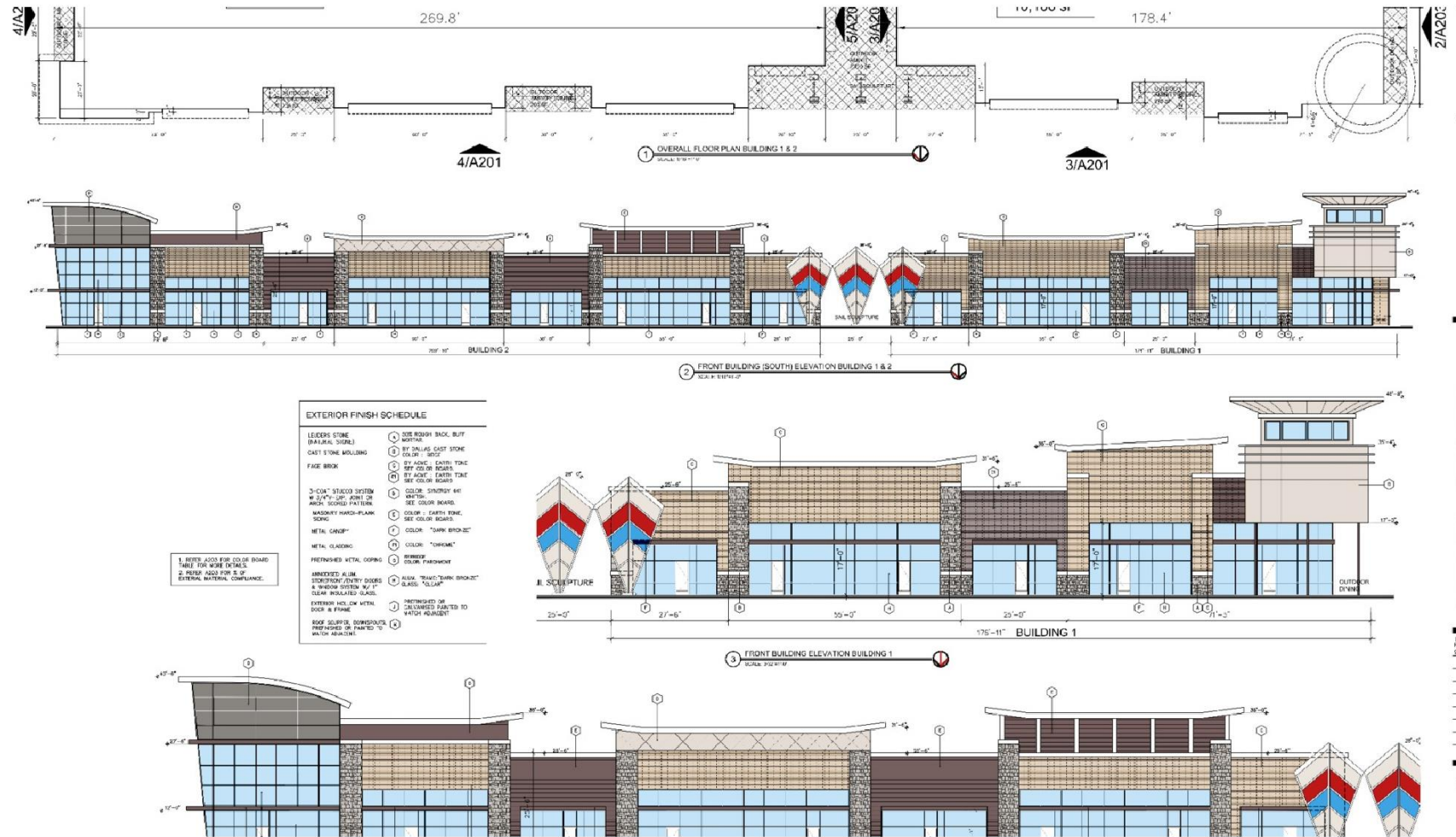
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RETAIL PROPERTY FOR LEASE

SEC FM 720 & US 380, LITTLE ELM, TX 75088



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RETAIL CENTER
FM 720 & US 380
LITTLE ELM TX 76227

REVISIONS:
REVISION # FOR CITY COMMENTS
9-28-2022

BLDG. PLAN & EXTERIOR ELEVATIONS STUDY

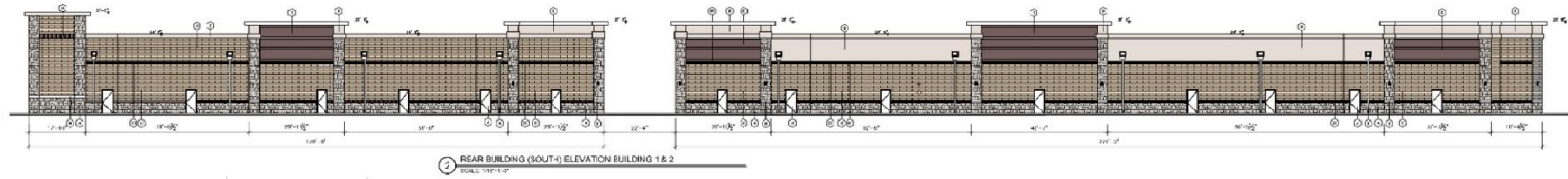
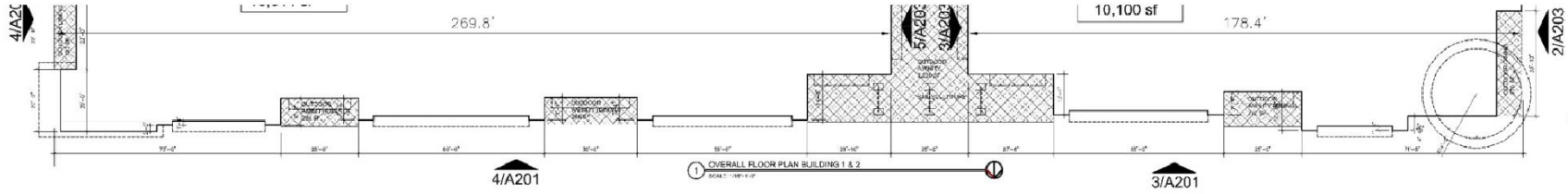
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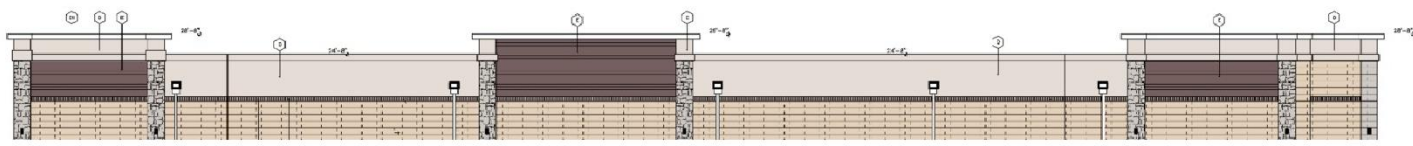
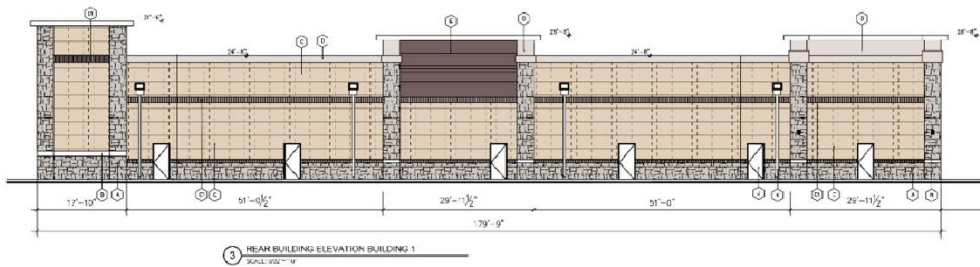
RETAIL PROPERTY FOR LEASE

SEC FM 720 & US 380, LITTLE ELM, TX 75088



FINISH TYPE	(A) SOFT ROUGH BRICK, BUFF
(NATURAL STONE)	(B) MORTAR
CAST STONE MOULDING	(C) 8" SQUARE CAST STONE
FACE BRICK	(D) COLOR - BROWN
(1/2" x 1/2" x 3/8" SYSTEM)	(E) 1" x 2" x 4" SPLIT STONE
IF 3/4" x 1/2" x 3/8" OR	(F) SEC COLOR BROWN
ARISE SQUARE PATTERNS	(G) ST. MARK - EARTH TONE
MASONRY FANG - FLANK	(H) ST. COLUMBIA
STAIRS	(I) COLOR - "TERRAZZO"
METAL CASPIRY	(J) COLOR: "SHEEN"
METAL CLADDING	(K) COLOR: "SHEEN"
PRE-FINISHED METAL COPING	(L) COLOR: "SHEEN"
AMMOFFICE ALUM.	(M) ALUM. FRAMING "DARK BRONZE"
STAINLESS STEEL DOORS	(N) ALUM. FRAMING "DARK BRONZE"
& WINDOW SYSTEM BY 1"	(O) GLASS "CLEAR"
GLASS "RELATED GLASS"	(P) FINISHES OF BALCONIES MATCH TO
ADJACENT	(Q) ROOF SCUPPER COMPPOSITE,
PRE-FINISHED OR PAINTED TO	(R) MATCH ADJACENT
MATCH ADJACENT	

- 1. REFER AGO FOR COLOR BOWNS TABLE FOR BOLD LETTERS
- 2. REFER AGO FOR # OF EXTERIOR MATERIAL COMPLIANCE



RETAIL CENTER

FM 720 & US 380
LITTLE ELM TX 76227

REVISIONS REQUIRED PER CITY COMMENTS:
01-22-2022

BLDG. PLAN &
EXTERIOR
ELEVATIONS
STUDY

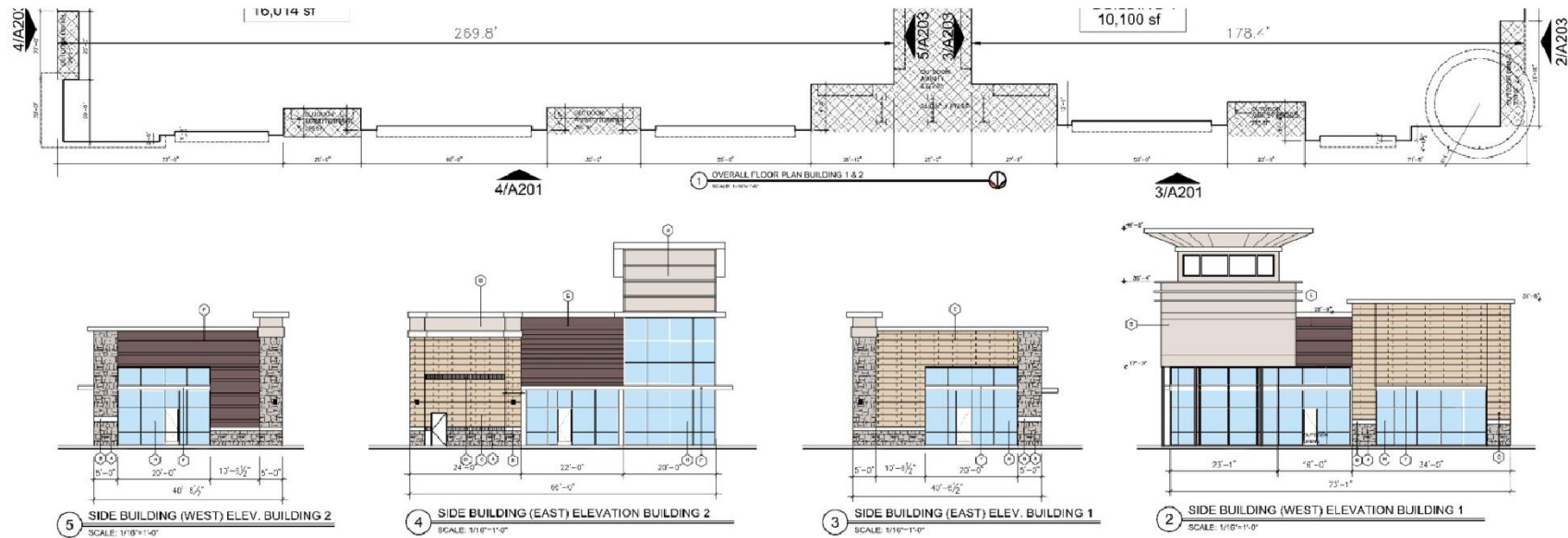
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A development of

RETAIL CENTER

FM 720 & US 380
LITTLE ELM TX 76227

REVISIONS:
REVISED PER CITY COMMENTS
10-20-2022

BLDG. EXTERIOR
ELEVATIONS &
DETAILS

EXTERIOR FINISH SCHEDULE	
LEADERS STONE (OUTSIDE STONE)	A TUGAAR BLUE, BUFF MORTAR
CAST STONE MOUNTAINS	B1 BY BRUNNEN K&S 3/8"
FAÇE BRICK	C1 COLOR: SANDSTONE WHITE
	C2 BY COLOR: BATH TONE SEE COLOR BOARD
3-COAT STUCCO SYSTEM w/ 1/2" x 1/2" JUMPS OR ARCH SCOOBED PATTERN.	D1 COLOR: SHERIDAN 440
	D2 SEE COLOR BOARD
BAWERTY HARDWARE SCHEDULE	E1 COLOR: BATH TONE SEE COLOR BOARD
METAL CASING	F1 COLOR: "TOUR BRONZE"
	F2
METAL GLAZING	G1
	G2
PREFINISHED METAL CLADDING	H1 BRONZE PIANO BUCK
	H2
ANODIZED ALUM. SUBSTRATE/ALUMINUM CLADDING SYSTEM w/ 1" CLEAR INSULATED GLASS	I1 ALUM. FRAME "TANK BRONZE"
	I2 GLASS: "CLEAR"
EXTERIOR W.C.W. METAL DOOR & FRAME	J1
	J2 UNANNEALD PAVES TO 44 (TOP PLACEMENT)
ROOF SCAFFOLD SYSTEMS/ PANELING OR PARTIAL TO METAL ROOFING	K1
	K2

MATERIAL CALCULATION TABLE - BUILDING 1 BELOW 15,000 SF			
ITEM #	DESCRIPTION	UNIT	AMOUNT
1	CONCRETE	CU YD	1,200.00
2	REINFORCING BARS	TON	150.00
3	FORMWORK	SQ YD	10,000.00
4	BRICK	1,000'S	500.00
5	STUCCO	CU YD	1,500.00
6	GLASS	SQ FT	2,000.00
7	ALUMINUM	TON	100.00
8	STEEL	TON	200.00
9	ROOFING	SQ YD	10,000.00
10	PAINT	TON	100.00
11	MECHANICAL	TON	50.00
12	ELECTRICAL	TON	50.00
13	PLUMBING	TON	50.00
14	LANDSCAPE	SQ YD	10,000.00
15	ASPHALT	SQ YD	10,000.00
16	CONCRETE	CU YD	1,200.00
17	REINFORCING BARS	TON	150.00
18	FORMWORK	SQ YD	10,000.00
19	BRICK	1,000'S	500.00
20	STUCCO	CU YD	1,500.00
21	GLASS	SQ FT	2,000.00
22	ALUMINUM	TON	100.00
23	STEEL	TON	200.00
24	ROOFING	SQ YD	10,000.00
25	PAINT	TON	100.00
26	MECHANICAL	TON	50.00
27	ELECTRICAL	TON	50.00
28	PLUMBING	TON	50.00
29	LANDSCAPE	SQ YD	10,000.00
30	ASPHALT	SQ YD	10,000.00

MATERIAL CALCULATION TABLE - BUILDING 2 OVER 15,000 SF			
ITEM #	DESCRIPTION	UNIT	AMOUNT
1	CONCRETE	CU YD	1,200.00
2	REINFORCING BARS	TON	150.00
3	FORMWORK	SQ YD	10,000.00
4	BRICK	1,000'S	500.00
5	STUCCO	CU YD	1,500.00
6	GLASS	SQ FT	2,000.00
7	ALUMINUM	TON	100.00
8	STEEL	TON	200.00
9	ROOFING	SQ YD	10,000.00
10	PAINT	TON	100.00
11	MECHANICAL	TON	50.00
12	ELECTRICAL	TON	50.00
13	PLUMBING	TON	50.00
14	LANDSCAPE	SQ YD	10,000.00
15	ASPHALT	SQ YD	10,000.00
16	CONCRETE	CU YD	1,200.00
17	REINFORCING BARS	TON	150.00
18	FORMWORK	SQ YD	10,000.00
19	BRICK	1,000'S	500.00
20	STUCCO	CU YD	1,500.00
21	GLASS	SQ FT	2,000.00
22	ALUMINUM	TON	100.00
23	STEEL	TON	200.00
24	ROOFING	SQ YD	10,000.00
25	PAINT	TON	100.00
26	MECHANICAL	TON	50.00
27	ELECTRICAL	TON	50.00
28	PLUMBING	TON	50.00
29	LANDSCAPE	SQ YD	10,000.00
30	ASPHALT	SQ YD	10,000.00

EXTERIOR FINISH SCHEDULE	
A	NATURAL STONE BY 1/2" THICK NATURAL STONE BY 1/2" LEADERS STONE-TUGAAR BLUE ADM. CONTACT: BRAD BURKS P&P 1/2" JUMP
B	CAST STONE SAND COLOR - WHITE LIMESTONE OR APPROVED EQUAL
C	FACE BRICK ARISE BRICK, MODULAR SIZE, GLAZED WHITE, VGLUR TEXTURE
D	FACE BRICK ARISE BRICK, MODULAR SIZE, SLATE GRAY, VGLUR TEXTURE
E	3-COAT STUCCO SYSTEM COLOR & TEXTURE: ONCE MARK (BRICK ORIENT)
F	CEMENTITIOUS FIBER BOARD ALUM. MOUNT LAMP COLOR: AUTUMN RED
G	ANODIZED ALUM. SUBSTRATE SYSTEM FRAME COLOR: "TANK BRONZE" GLASS: 1/2" CLEAR INSULATED GLASS w/ P&P

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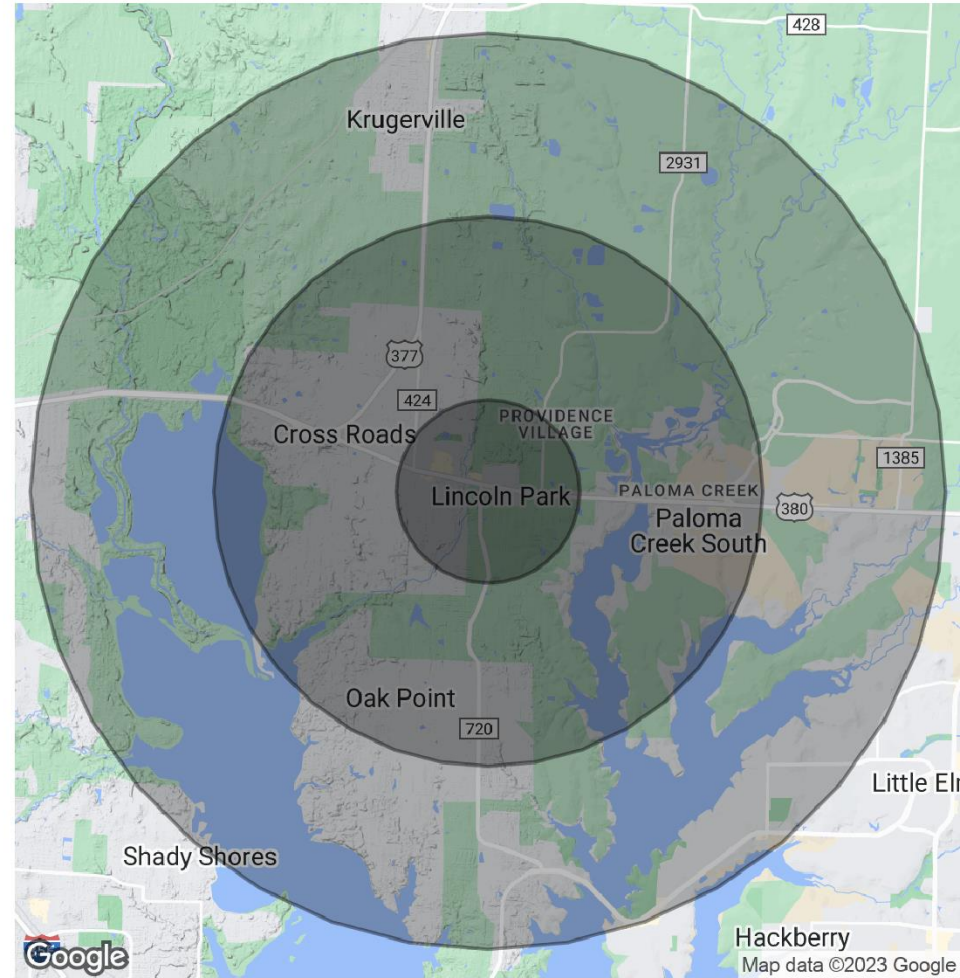
RETAIL PROPERTY FOR LEASE

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POPULATION	1 MILE	3 MILES	5 MILES
Total Population	4,462	25,390	69,911
Average Age	32.2	34.5	35.3
Average Age (Male)	32.5	33.9	33.9
Average Age (Female)	31.7	33.9	36.0

HOUSEHOLDS & INCOME	1 MILE	3 MILES	5 MILES
Total Households	1,435	8,285	23,456
# of Persons per HH	3.1	3.1	3.0
Average HH Income	\$111,104	\$110,791	\$113,492
Average House Value	\$250,983	\$267,212	\$272,642

* Demographic data derived from 2020 ACS - US Census



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INFORMATION ABOUT BROKERAGE SERVICES

Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.



TYPES OF REAL ESTATE LICENSE HOLDERS:

- **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD):

The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of each party

to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION:

This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

Texas Retail Services, LLC

Licensed Broker /Broker Firm Name or Primary Assumed Business Name

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Phone

Cameron Mai

Designated Broker of Firm

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Email

214-597-7153

Phone

Licensed Supervisor of Sales Agent/ Associate

License No.

Email

Phone

Sales Agent/Associate's Name

License No.

Email

Phone

Buyer/Tenant/Seller/Landlord Initials

Date



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Pacific Century Realty

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Licensed Broker /Broker Firm Name or Primary Assumed Business Name

License No.

Email

Phone

Regulated by the Texas Real Estate Commission

Information available at www.trec.texas.gov

IABS 1-0