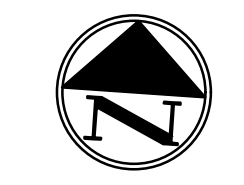
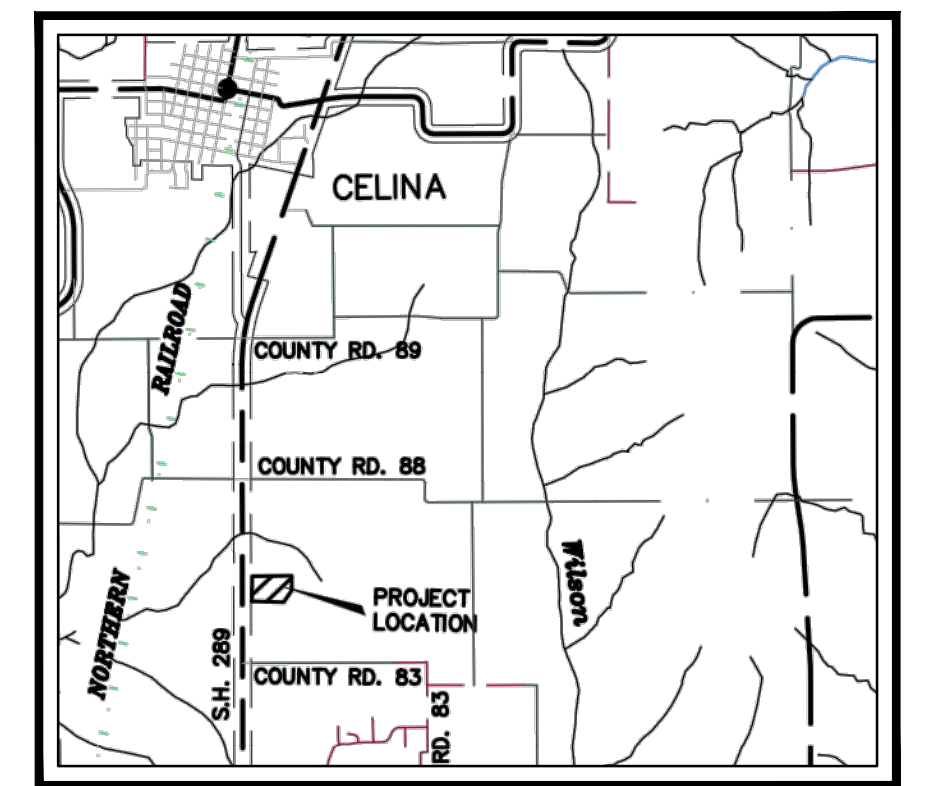


CARTER RANCH ROAD



Scale: 1" = 20' Feet



VICINITY MAP
N.T.S.

1717 SF OF CONCRETE
DECEL LANE.

EXISTING CURB INLET
TO BE RELOCATED

3550 SF OF CONCRETE
DECEL LANE.

S.H. 289
PRESTON ROAD

168.01' STORAGE LENGTH

TAPPER

25' WATER & SEWER EASEMENT

40' LANDSCAPE SETBACK BUFFER

DEVELOPMENT AREA
61,570 SF
1.41 AC
AREA=11,547 SF
PARKING RATIO =1:250
PARKING REQUIRED=47
PARKING PROVIDED =80

25' LANDSCAPE SETBACK BUFFER

25' LANDSCAPE SETBACK BUFFER

0.5 FEET 5 FEET 9 FEET 9 FEET 5.5 FEET 6.45 FEET

265± LF 8 FT MASONRY SCREEN WALL
TOTAL 2120 SF.
ESTIMATE
LOW-\$30 PER SF= 63,600.00
HIGH-\$40 PER SF. \$ 84,800.00

273± LF RETAINING WALL
ESTIMATE TOTAL AREA= 1916 SF
LOW -\$20 PER SF=\$38,320
HIGH -\$45 PER SF - \$86,220

Know what's below.
Call before you dig.

| NO. | DATE | DESCRIPTION | BY |
|-----|----------|--------------------|----|
| 1 | XX-XX-XX | 1st CITY SUBMITTAL | XX |
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CONCEPTUAL SITE PLAN
RESTAURANT & RETAIL
 CARTER RANCH RD & PRESTON ROAD
 CITY OF CELINA
 COLLIN COUNTY, TEXAS
 LOT A-2, BLOCK A, THE CARTER RANCH

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
 W: triangle-engr.com | O: 1784 McDermott Drive, Suite 110, Allen, TX 75013

Planning | Civil Engineering | Construction Management

| P.E. | DES. | DATE | SCALE | PROJECT NO. | SHEET NO. |
|------|------|-----------|-----------|-------------|--------------|
| AY | XX | 4/19/2022 | SCALE BAR | XXX-XX | C-3.0 |

TX. P.E. FIRM #11525