



Legacy Century Life

NWC Of Legacy And Central Expwy, Plano, TX 75023

ALFRED GOH

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FOR LEASE

Legacy Century Life

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Retail Property For Lease



PROPERTY OVERVIEW

Available SF:	1,000 SF - 20,819 SF
Lease Rate:	\$38.00 PSF/yr
NNN:	\$9.00 PSF/yr
Lot Size:	2.73 Acres
Delivery Date:	Summer 2023
Building Size:	20,819 SF

MARKET / AREA HIGHLIGHTS

- Plano is ranked the No.1 U.S. city to live in and dubbed the "City of Excellence".
- With a multitude of fortune 500 companies and many business headquarters, Plano is expected to experience growth between now and 2040, and continue to be recognized as one of the top city to do business.
- Plano is being Yelp's Top 10 Foodie Cities in 2019.
- The area boast eclectic fare that reflects Plano's cultural diversity with Asian making up 20% of the demographics.

PROPERTY HIGHLIGHTS

- Located at the hard corner (NW) of Legacy & Central Expwy.
- Legacy Drive is a major East West thoroughfare in Plano.
- Area retailers include H Mart, Costco, Walmart, 99 Ranch Market, Jusgo Supermarket, Mitsuwa & Cinemark.
- Major employers include Samsung & Peloton.

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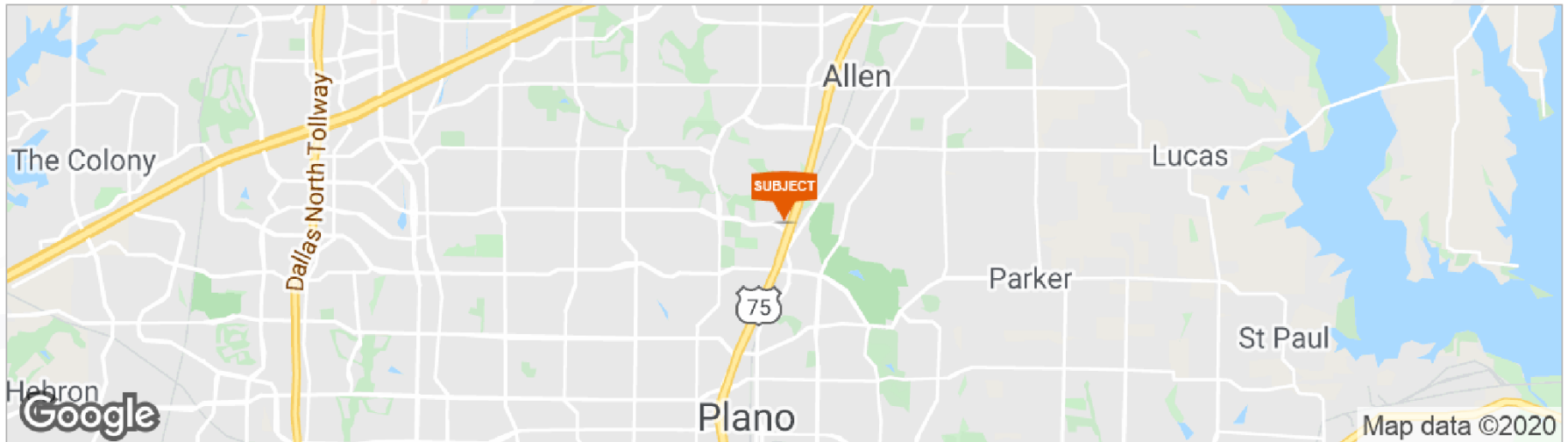
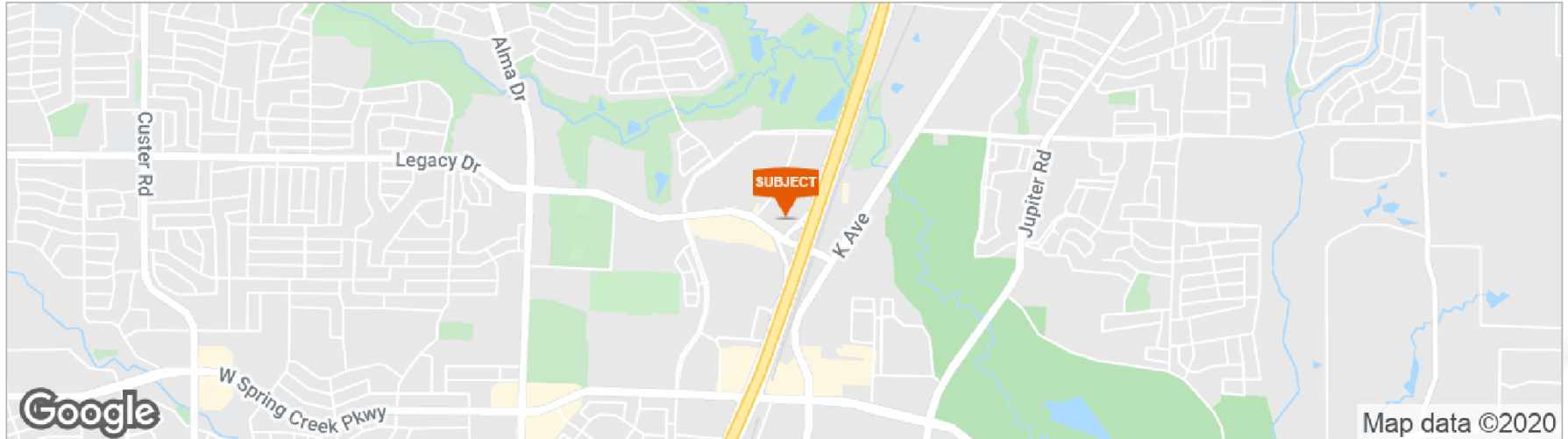
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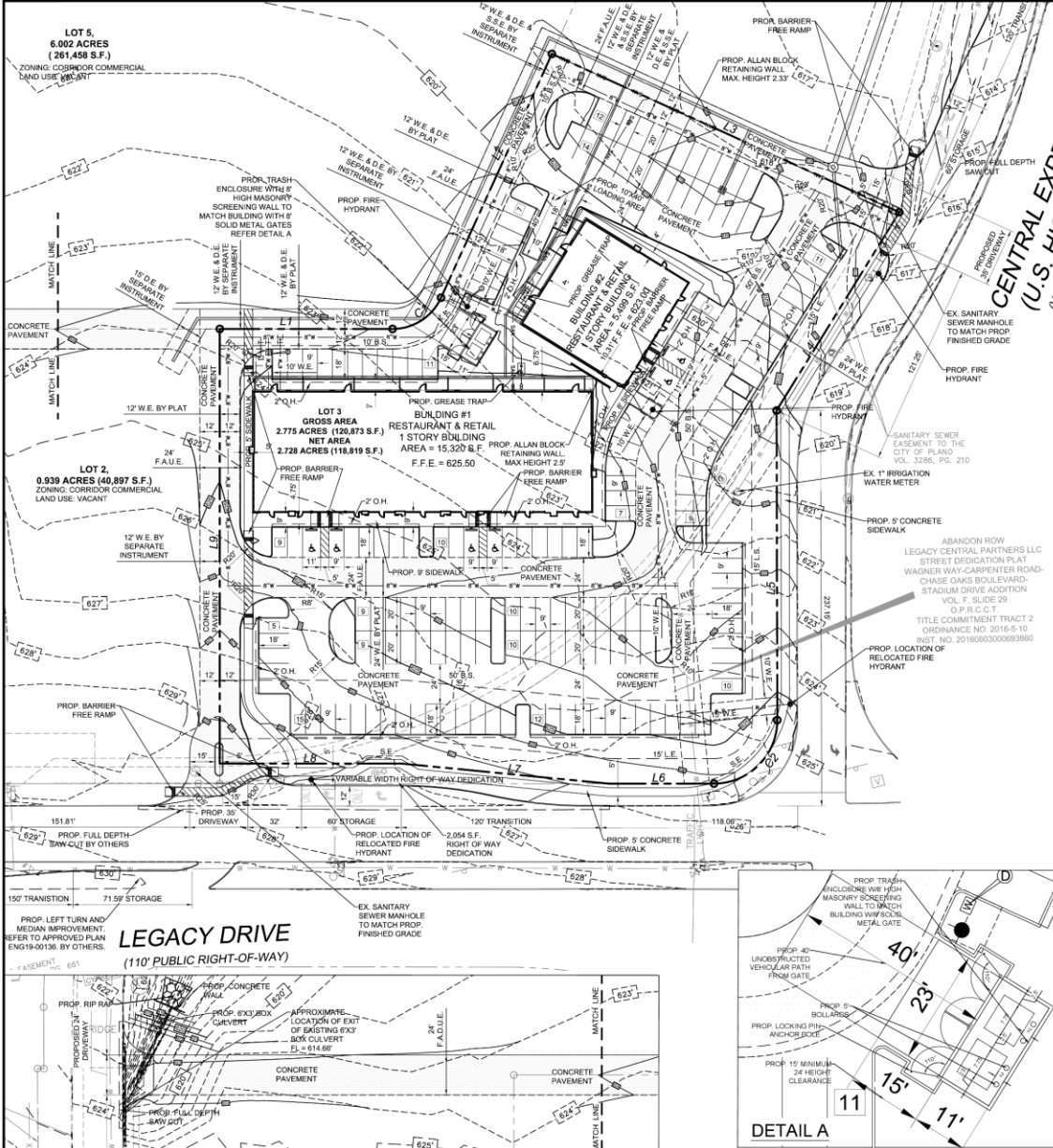
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**CENTRAL EXPRESSWAY
(U.S. HIGHWAY NO. 75)
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)**

BOUNDARY LINE DATA				
LINE #	BEARING	DIST/ANCH.		
L1	S52°51'S1'E	103.20'		
L2	N01°02'21"E	150.62'		
L3	S02°21'31"E	228.40'		
L4	S48°50'11"W	139.89'		
L5	S37°00'10"W	185.60'		
L6	N32°53'38"E	206.40'		
L7	S47°21'11"E	125.00'		
L8	S52°51'38"E	108.52'		
L9	N33°02'00"W	200.60'		

BOUNDARY CURVE DATA					
CURVE #	LENGTH	RADIUS	DELTA	CHL BEARING	CH LENGTH
C1	36.60'	32.00'	69°31'46"	S89°27'44"E	34.66'
C2	39.77'	38.00'	109°07'48"	S26°10'00"W	33.92'

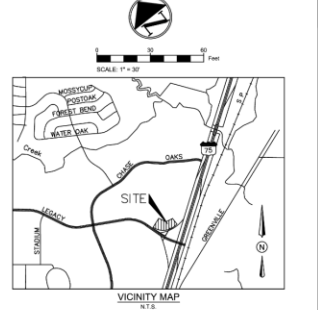
WATER METER & SANITARY SEWER SCHEDULE			
EQ.	METER TYPE	SIZE	NO. OF SERVICE
1	DOMESTIC	2"	2 PROPOSED
2	IRRIGATION	1.50"	1 PROPOSED
3	IRRIGATION	1"	1 EXISTING

SITE LEGEND	
[Symbol]	CONCRETE CURB
[Symbol]	SAW-CUT LINE
[Symbol]	FIRE LANE
[Symbol]	STORM PIPE
[Symbol]	PARKING SPACES
[Symbol]	WHEEL STOPS
[Symbol]	HANDICAP LOGS
[Symbol]	HANDICAP SIGN
[Symbol]	RAMP
[Symbol]	FIRE HYDRANT
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	SANITARY SEWER CLEANOUT
[Symbol]	SANITARY SEWER DOUBLE CLEANOUT
[Symbol]	GREASE TRAP
[Symbol]	DOMESTIC WATER METER
[Symbol]	IRRIGATION METER
[Symbol]	GA METER
[Symbol]	TRANSFORMER
[Symbol]	UTILITY POLE
[Symbol]	POWER POLE
[Symbol]	SANITARY SEWER LINE
[Symbol]	WATER MAIN
[Symbol]	DOMESTIC WATER LINE
[Symbol]	STORM PIPE

EXISTING LEGEND	
[Symbol]	BASEMENT
[Symbol]	1/2" AIR CONTROL VALVE
[Symbol]	TELEPHONE FEDERAL
[Symbol]	FOODS/POLE
[Symbol]	8 1/2" MANHOLE
[Symbol]	CLEAN OUT
[Symbol]	WATER MANHOLE
[Symbol]	TRAPPING ROOM POLE
[Symbol]	TELEPHONE MANHOLE
[Symbol]	SEA MANHOLE
[Symbol]	VAULT
[Symbol]	FIRE HYDRANT
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	TRANSFORMER PAD
[Symbol]	ELECTRIC METER
[Symbol]	STORM DRAIN MANHOLE
[Symbol]	BIOSH
[Symbol]	LOAD POLE
[Symbol]	CONCRETE
[Symbol]	TYPICAL FENCE

- SITE PLAN GENERAL NOTES**
- SEWER MAINS SHALL BE 10% GREATER THAN THE 10% FIRE SPRINKLES.
 - FIRE LINES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
 - HANDICAPPED PARKING SPACES SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT ADAPTED INTERNATIONAL BUILDING CODE.
 - FOUR-FOOT WIDE SIDEWALKS SHALL BE PROVIDED 3 FEET OFF OF THE PROPERTY LINE WITHIN THE RIGHT-OF-WAY. SIDEWALK FABRIKATION IS PROVIDED FOR A MEANDERING SIDEWALK OR AN ALTERNATIVE DESIGN IS APPROVED BY THE CITY. BARRIER-FREE RAMP PER CITY STANDARDS SHALL BE PROVIDED ON SIDEWALKS AT ALL CURB CROSSINGS.
 - MISCELLANEOUS UNITS, DUMPSTERS, AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - ALL SIGNAGE CONTINGENT UPON APPROVAL BY BUILDING INSPECTIONS DEPARTMENT.
 - APPROVAL OF THE SITE PLAN IS NOT FINAL. ALL ENGINEERING PLANS ARE APPROVED.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - BUILDING FACADES WITHIN THE DEVELOPMENT SHALL BE COMPATIBLE AS PROVIDED IN SECTION 6.48 OF THE CODE OF ORDINANCES.
 - OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS DETERMINED BY THE RETAIL CORNER DESIGN GUIDELINES.
 - ALL ELECTRICAL TRANSMISSION, DISTRIBUTION, AND SERVICE LINES MUST BE UNDERGROUND.
 - UTILITIES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN ARTICLE 24 OF THE ZONING ORDINANCE: HOSE DROPE AND PROTECTIVE MATERIALS; COORDINATE MATTER; FIRE OR EXPLOSIVE HAZARD; MATERIAL, TONIC AND WINDOUS MATTER; VIBRATION; AND OTHER PERFORMANCE STANDARDS.

EASEMENTS/SETBACK LEGEND	
[Symbol]	BUILDING SET BACK
[Symbol]	LANDSCAPE SETBACK
[Symbol]	FIRE LANE, ACCESS & UTILITY EASEMENT
[Symbol]	FIRE LANE, ACCESS, DRAINAGE & UTILITY EASEMENT
[Symbol]	WATER EASEMENT
[Symbol]	ELECTRICAL EASEMENT
[Symbol]	UTILITY EASEMENT
[Symbol]	DRAINAGE EASEMENT
[Symbol]	SANITARY SEWER EASEMENT
[Symbol]	SEWALK EASEMENT
[Symbol]	B.S.
[Symbol]	L.A.U.E.
[Symbol]	F.A.U.E.
[Symbol]	W.E.
[Symbol]	E.E.
[Symbol]	U.E.
[Symbol]	D.E.
[Symbol]	S.S.E.
[Symbol]	S.E.



Site Data Summary Table	
Item	Value
zoning (from zoning map)	Commercial Corridor/C
Land Use (from Zoning Ordinance)	Restaurant Retail
Lot Area (square feet)	1,188,916 (Sq Ft) (12,057 (Acres))
Lot Area (acres)	2.72 (2,641 / 2,719 (Acres))
Building Footprint Area (square feet)	15,120 (Sq Ft) (1,499 (Acres))
Total Building Area (square feet)	28,827
Building Height (ft. above ground)	12'-00" (Mag 1) and 29'-00" (Mag 2)
Lot Coverage (percent - a.c.u.)	1.7%
Floor Area Ratio (percent)	0.8%
Parking Ratio (from Zoning Ordinance)	1,100 (Sq Ft) (4,175 (Sq Ft) (0.34 (Acres))) & 1,200 (Sq Ft) (0.65 (Acres))
Required Parking (if spaces)	177
Provided Parking (if spaces)	177
Accessible Parking Required (if spaces)	6
Accessible Parking Provided (if spaces)	6
Parking in Excess of 11% of required parking (if spaces)	0
Landscape Edge Area (Proposed square feet)	11,520
Required interior landscape area (parking lot landscaping square feet)	1,400
Additional exterior landscape area (proposed square feet)	6,720
Total Landscape Area within 100' (including Storm Water Collection Area (square feet)	19,640
Total Landscape Area (square feet)	28,827
Total Impervious Area (square feet)	28,827
Total Permeable Area (square feet)	1,159,089
Total Permeable Area (percent)	98.3%
Total Impervious Area (percent)	1.7%
Total Impervious Area (acres)	0.034
Total Impervious Area (square feet)	11,520 (Sq Ft) (1,499 (Acres))
Other Impervious Area (square feet)	17,307
Total Impervious Area (square feet)	28,827
Total Impervious Area (percent)	2.4%
Total Impervious Area (acres)	0.066

PROJECT CONTACT LIST	
OWNER/DEVELOPER LEGACY LANDMARK INVESTMENT GROUP, LLC 222 MUNICIPAL DR., STE 138 RICHARDSON, TX 75080 CONTACT: ALFRED ODH TEL: (972) 489-3880	ARCHITECT RASHMI INC. 8005 CARPENTERS HILL DR ARLINGTON, TX 76013 CONTACT: RASHMI CHANDEL TEL: (917) 891-7919 EMAIL: RASHMI@RASHMI.COM
CIVIL ENGINEER TRIANGLE ENGINEERING LLC 1784 W. MODERNTOWN DRIVE, SUITE 110 ALLEN, TX 75012 CONTACT: ANDREW YEOH TEL: (469) 213-2800 EMAIL: AYE@TRIANGLE-ENGR.COM	SURVEYOR PEISER & MANKIN SURVEYING, INC. 1604 HART STREET SOUTH LAKE, TX 76082 CONTACT: TIM MANKIN TEL: (817) 481-1806 EMAIL: TMANKIN@PEISER-SURVEYING.COM

CITY APPROVALS	
DATE	PROJECT
07/09/2020	04-19
DESIGN	DRAWN
AY	QX
SHEET # C-3.0	
LEGACY-CENTRAL ADDITION LOT 1, BLOCK A 2.775 ACRES	
CITY OF PLANO, COLLIN COUNTY, TEXAS 75025 DANIEL ROEMERT SURVEY, ABSTRACT NO. 738	

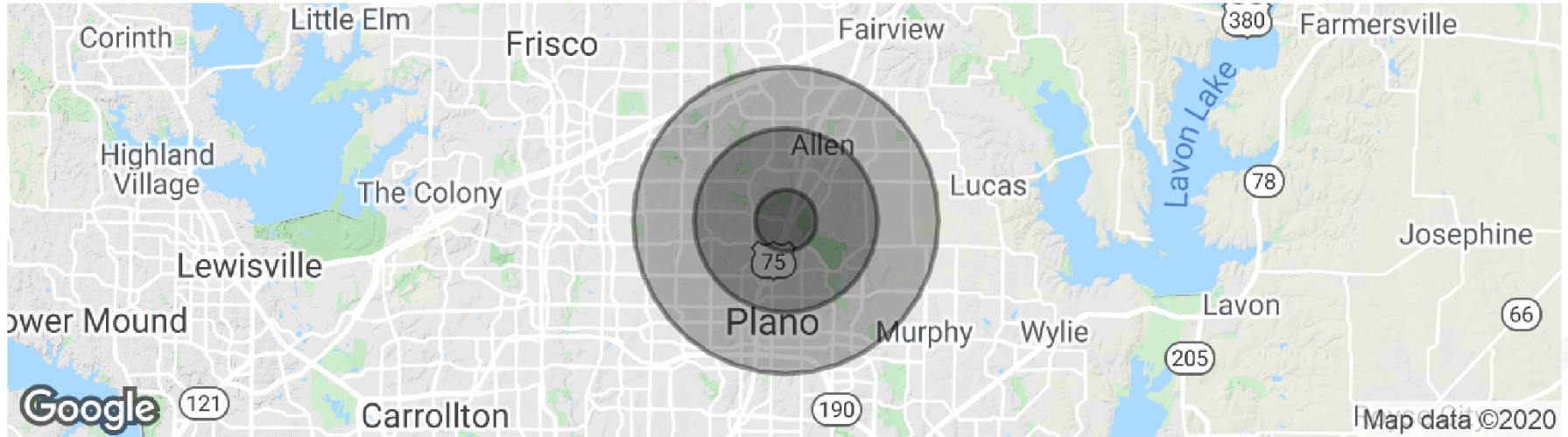
TX PE FIRM #11625
TRIANGLE ENGINEERING LLC
1,465.331 (866) 617-462, 213-274-114, E: info@triangle-eng.com
W: www.triangle-eng.com | 1784 MODERNTOWN DRIVE, SUITE 110, ALLEN, TX 75013
Planning | Civil Engineering | Construction Management



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POPULATION

	1 MILE	3 MILES	5 MILES
Total Population	10,376	98,641	245,309
Average age	30.4	34.0	35.2
Average age (Male)	28.9	32.7	34.4
Average age (Female)	32.7	35.6	36.2

HOUSEHOLDS & INCOME

	1 MILE	3 MILES	5 MILES
Total households	3,747	35,345	87,055
# of persons per HH	2.8	2.8	2.8
Average HH income	\$72,731	\$84,565	\$96,654
Average house value	\$198,062	\$178,005	\$219,875

* Demographic data derived from 2010 US Census

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Information About Brokerage Services

Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.



TYPES OF REAL ESTATE LICENSE HOLDERS:

- **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of *each party* to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

Pacific Century Realty
Licensed Broker /Broker Firm Name or Primary Assumed Business Name

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